

PART 5

GENERAL BUSINESS AND OTHER ZONING DISTRICTS

Section 501. Designation of General Business and Other Zoning Districts and Purpose Statements.

See Table 5-1 herein this Section for the designations and purpose statements of the respective General Business and Other Zoning Districts which are shown on the Borough Zoning Map:

**TABLE 5-1
 GENERAL BUSINESS AND OTHER ZONING DISTRICTS**

| GENERAL BUSINESS AND OTHER ZONING DISTRICT NAMES | GENERAL BUSINESS AND OTHER ZONING DISTRICT PURPOSE STATEMENTS | REPRESENTATIVE IMAGES |
|---|--|---|
| <p>General Commercial Zoning District (CG)</p> | <p>To provide for a wide range of commercial uses, including heavier commercial uses than are allowed in the Mixed Use Zoning Districts.</p> |  |
| <p>Commercial Highway Office Zoning District (CHO)</p> | <p>To provide for offices and a limited range of supporting business uses appropriate along major thoroughfares.</p> |  |
| <p>Regional Shopping Center Zoning District (CS)</p> | <p>To provide for a wide range of commercial uses in one (1) commercial complex with fully coordinated exterior and interior traffic access, coordinated signs, and shared parking.</p> |  |
| <p>Light Industrial Zoning District (LIN)</p> | <p>To provide for light industrial uses, while recognizing that there are no appropriate locations within Camp Hill Borough for heavy industrial uses, because of the proximity of homes to all areas of the Borough, the locations of creeks and other important natural features, the importance of preserving historic buildings, the congestion of the street system and the very limited amounts of undeveloped land. To carefully control the types of industrial operations to avoid nuisances (such as excessive noise) and hazards.</p> |  |

Section 502. Permitted Uses.

See Table 5-2 herein this Section for the types of uses permitted in the respective General Business and Other Zoning District as set forth by this Chapter. Uses are divided into those Permitted by Right “P” (zoning decision by Zoning Officer); Permitted by Special Exception “SE” (zoning decision by Zoning Hearing Board,) and Permitted by Conditional Use “CU” (zoning decision by Borough Council). Many of the uses permitted by the above three (3) categories must comply with certain criteria, which are found in Part 11 of this Chapter. The specific section numbers of Part 11 where the criteria are located are noted in the table. Uses not listed in the table below or identified by “N” shall specifically not be permitted in the applicable General Business and Other Zoning Districts:

**TABLE 5-2
 PERMITTED USES – GENERAL BUSINESS AND OTHER ZONING DISTRICTS**

| TYPES OF USES | GENERAL COMMERCIAL ZONING DISTRICT (CG) | COMMERCIAL HIGHWAY OFFICE ZONING DISTRICT (CHO) | REGIONAL SHOPPING CENTER ZONING DISTRICT (CS) | LIGHT INDUSTRIAL ZONING DISTRICT (LIN) | SECTION REFERENCE FOR SPECIFIC USE REGULATIONS |
|---|---|---|---|--|--|
| A. NON-RESIDENTIAL USES | | | | | |
| A.1 COMMERCIAL USES | | | | | |
| Animal Hospital | P | N | P | P | 1103 |
| Art Gallery | P | N | P | N | |
| Automobile, Boat, Heavy Equipment, Mobile / Manufactured Home, Recreational Vehicle, and Other Similar Motor Vehicle Rental / Sales, Repair / Service, Washing, and/or Fuel / Gas Sales | P | N | P | P | 1103 |
| Bank | P | P | P | P | |
| Bed and Breakfast | P | N | P | N | 1103 |
| Beer and Ale Wholesale Distribution | P | N | N | P | |
| Commercial Recreation, Indoor | P | N | P | P | |
| Commercial Recreation, Outdoor | P | N | P | N | 1103 |
| Convenience Store | P | P | P | P | 1103 |
| Copy Shop / Business Service | P | P | P | P | |
| Craftsman / Artisan Studio | P | P | P | P | |
| Farmer’s / Flea Market, Outdoor | SE | N | SE | P | 1103 |
| Financial Service, Other | P | P | P | P | |
| Food Service | P | N | P | P | |
| Funeral Home | P | N | P | N | 1103 |
| Home Improvement Center, Lumber Sales, and Building Materials Sales | P | N | P | P | 1103 |

| TYPES OF USES | GENERAL COMMERCIAL ZONING DISTRICT (CG) | COMMERCIAL HIGHWAY OFFICE ZONING DISTRICT (CHO) | REGIONAL SHOPPING CENTER ZONING DISTRICT (CS) | LIGHT INDUSTRIAL ZONING DISTRICT (LIN) | SECTION REFERENCE FOR SPECIFIC USE REGULATIONS |
|--|---|---|---|--|--|
| Hotel | P | P | P | P | |
| Kennel, Commercial | N | N | N | P | 1103 |
| Laundry & Dry Cleaning Facility, Personal | P | N | P | N | |
| Liquor Store | P | N | P | N | |
| Mini-Storage Warehouse | N | N | N | P | 1103 |
| Motel | P | P | P | P | |
| Nightclub | N | N | P | P | 1103 |
| Office, Business and Professional | P | P | P | P | |
| Office, Medical | P | P | P | P | |
| Parking Lot / Parking Structure | P | N | P | P | 1103 |
| Personal Service | P | N | P | N | |
| Restaurant | P | P | P | N | |
| Retail Business | P | N | P | P | |
| School, Commercial | P | N | P | P | |
| School, Vocational | N | N | N | P | |
| Sexually Oriented Businesses and/or Related Uses | N | N | N | SE | 1103 |
| Shopping Center, General | N | N | P | N | |
| Tattoo Parlor / Body Piercing | N | N | N | P | |
| Tavern / Bar | P | P | P | P | 1103 |
| Theater, Indoor | P | N | P | N | |
| Therapeutic Massage Facility | P | N | P | N | |
| Veterinary Office | P | N | P | P | |
| A.2 INDUSTRIAL USES | | | | | |
| Automobile Wrecking, Junk, and Scrap Storage and Sales | N | N | N | SE | 1104 |
| Industrial Use, Heavy | N | N | N | SE | 1104 |
| Industrial Use, Light | N | N | N | P | |
| Laundry & Dry Cleaning Facility, Industrial | N | N | N | P | |
| Mineral Extraction | N | N | N | SE | 1104 |
| Outdoor Storage | N | N | N | P | Part 7 |
| Research and Development | N | N | N | P | |
| Warehousing, Distribution, and Wholesaling | P | N | P | P | |

| TYPES OF USES | GENERAL COMMERCIAL ZONING DISTRICT (CG) | COMMERCIAL HIGHWAY OFFICE ZONING DISTRICT (CHO) | REGIONAL SHOPPING CENTER ZONING DISTRICT (CS) | LIGHT INDUSTRIAL ZONING DISTRICT (LIN) | SECTION REFERENCE FOR SPECIFIC USE REGULATIONS |
|---|---|---|---|--|--|
| A.3 INSTITUTIONAL / CIVIC USES | | | | | |
| Cemetery | P | N | P | P | 1105 |
| Clinic, Medical / Urgent Care | P | N | P | N | |
| Clubhouse or Lodge, Private | P | P | P | P | 1105 |
| Community Center | N | N | P | N | |
| Convention Center | N | N | P | N | |
| Daycare, Commercial | N | N | P | N | 1105 |
| Emergency Services | N | N | P | N | |
| Government Facility, Other Than Municipal Owned Use | N | N | SE | N | |
| Hospital | P | N | P | P | 1105 |
| Long Term Care Facility or Personal Care Facility | P | N | P | N | 1105 |
| Museum | P | N | P | P | |
| Municipal Owned Use | P | P | P | P | |
| Park, Playground, and Other Non-Commercial Outdoor Recreational Use | P | N | P | P | 1105 |
| Place of Worship | P | P | P | P | |
| Post Office | P | N | P | P | |
| Recycling Collection Point | P | N | N | P | 1105 |
| School, Public or Private | P | P | P | P | |
| Treatment Center | N | N | N | SE | 1105 |
| University / College | P | N | P | P | |
| A.4 FORESTRY / AGRICULTURE USES | | | | | |
| Agricultural Operation | P | N | P | P | 1106 |
| Community Garden | P | N | P | P | 1106 |
| Forestry (Timber Harvesting) | P | P | P | P | 1106 |
| Plant Nursery | P | N | P | P | |
| A.5 MISCELLANEOUS USES | | | | | |
| Billboard | N | N | N | P | 810 |
| Telecommunications Signal Site (Antenna Only) | P | P | P | P | 1107 |
| Telecommunications Signal Site | N | N | N | SE | 1107 |
| B. SPECIFIC ACCESSORY USES | | | | | |
| Automated Banking Facility | P | N | P | N | 1108 |
| Community Garden | P | N | P | N | 1108 |

| TYPES OF USES | GENERAL COMMERCIAL ZONING DISTRICT (CG) | COMMERCIAL HIGHWAY OFFICE ZONING DISTRICT (CHO) | REGIONAL SHOPPING CENTER ZONING DISTRICT (CS) | LIGHT INDUSTRIAL ZONING DISTRICT (LIN) | SECTION REFERENCE FOR SPECIFIC USE REGULATIONS |
|--|---|---|---|--|--|
| Drive-Thru Facility for Permitted Use | P | N | P | P | 1108 |
| Heliport | N | N | N | P | 1108 |
| Outdoor Café / Dining | P | N | P | N | 1108 |
| Outside Display and Sales | P | N | P | P | 1108 |
| C. GENERAL ACCESSORY USES AND STRUCTURES | | | | | |
| Accessory structures and uses customarily incidental and subordinate to the principal uses permitted in the applicable Zoning District, other than specified elsewhere in this Chapter including but not limited to Part 7 of this Chapter | P | P | P | P | |

- P Permitted by Right (zoning decision by Zoning Officer)
- SE Permitted by Special Exception Use (zoning decision by Zoning Hearing Board)
- CU Permitted by Conditional Use (zoning decision by Borough Council)
- N Not Permitted

Section 503. Area and Design Requirements.

See Tables 5-3 – 5-6 herein this Section for the area and design requirements for all development activities and uses within the respective General Business and Other Zoning Districts. Additionally, to the maximum extent feasible, all development activities and uses shall respect, maintain, and be compatible with the predominant development pattern, context, and character features of the adjacent and nearby buildings / structures and development including height, scale, setback, orientation, lot access, and off-street parking. Unless specifically listed herein this Section and Part 6 of this Chapter relating to *Development Compatibility Standards Overlay Zoning District*, applicants for new development and uses may, and are strongly encouraged, to utilize the other development compatibility design guidelines and standards set forth in Part 6 of this Chapter relating to *Development Compatibility Standards Overlay Zoning District*:

**TABLE 5-3
 AREA AND DESIGN REQUIREMENTS
 GENERAL COMMERCIAL
 ZONING DISTRICT (CG)**

| AREA / DESIGN FEATURES | PERMITTED USES |
|------------------------|----------------|
|------------------------|----------------|

| | ALL USES, UNLESS SPECIFICALLY LISTED IN PART 11 | ACCESSORY USE OR STRUCTURE, OTHER THAN SPECIFIED HEREIN ELSEWHERE THIS CHAPTER INCLUDING PART 7, PART 9, AND PART 11 OF THIS CHAPTER |
|--|--|---|
| Net Lot Area - Minimum | 10,000 sq. ft. | Included as part of total minimum lot area for principal use. |
| Lot Width at Front Setback Line – Minimum, Interior Lot | 50 ft. | Included as part of total minimum lot width for principal use. |
| Lot Width at Front Setback Line – Minimum, Corner Lot | 65 ft. | Included as part of total minimum lot width for principal use. |
| Front Setback - Minimum | 35 ft., See Note C | Not permitted to be located within the front yard. |
| Side Setback – Minimum, See Note A | 8 ft. each side from interior lot line; 12 ft. from street right-of-way line, See Note D | Included as part of the minimum side setback for the principal use. |
| Rear Setback – Minimum, See Note A | 30 ft., See Note D | Included as part of the minimum rear setback for the principal use. |
| Building Footprint - Maximum | 40% | Included as part of total maximum building coverage for principal use. |
| Impervious Lot Coverage - Maximum | 70%, See Note J | Included as part of total maximum impervious lot coverage for the principal use. |
| Vegetative Coverage - Minimum | 15% | Included as part of total minimum vegetative coverage for principal use. |
| Building Height / Structure Height - Maximum | 45 ft. or 3 stories, whichever is more restrictive | 35 ft. or 3 stories, whichever is more restrictive |

- Not Applicable

Note A = The following exceptions to side and rear yards shall apply:

1. A 3 foot wide minimum side and rear setback shall apply for a permitted detached structure that is accessory to a dwelling, except:
 - a. In no case shall a vehicle garage be set back less than 5 feet from the cartway of an alley.
 - b. Structures shall not obstruct minimum sight clearance at intersections.
 - c. No setback is required for a structure that is accessory to a dwelling from a lot line along which 2 dwellings are attached (such as a lot line shared by single family semi-detached dwellings).
2. A residential porch or deck that is open along sides not attached to the principal building may extend into a required side or rear building setback. See Note I concerning front setbacks. However, if a deck or porch is covered by a roof or is raised an average of more than 5 feet above the ground level, then the deck or porch shall meet the minimum side yard and shall be setback a minimum of 15 feet from a rear lot line. A setback is not required where 2 buildings are attached to each other along a lot line. Space under an unenclosed porch may be used for household storage.

Note B = Except if 2 or more off-street parking spaces per dwelling for 2 or more motor vehicles are located within 20 feet of a public street, then the lot width per dwelling unit along such street shall be a minimum of 24 feet. An end unit townhouse shall have a minimum lot width of 24 feet.

Note C = A canopy over gasoline pumps may have a front setback of 20 feet, provided that no sign is located on the canopy within 35 feet from the street right-of-way.

Note D = Except a minimum of 40 feet for a new or expanded principal nonresidential building from a directly abutting primarily residential lot in a Residential Zoning District. From a portion of a building used for manufacturing operations or tractor-trailer loading docks, this setback shall be increased to a minimum of 70 feet.

Note E = On a single family detached dwelling lot that existed prior to August 2, 1943, with a lot width of less than 60 feet, the minimum side setback shall be reduced to 5 feet, provided that the 2 side yards together include a minimum of 14 feet.

- Note F = On a single family detached dwelling lot that existed prior to August 2, 1943, with a lot depth of less than 125 feet, the minimum rear setback shall be reduced to 20 feet.
- Note G = On a single family detached dwelling lot that existed prior to August 2, 1943, with a lot width of less than 50 feet, the minimum side setback shall be reduced to 4 feet, provided that the 2 side yards together include a minimum of 10 feet.
- Note H = On a single family detached dwelling lot that existed prior to August 2, 1943, with a lot depth of less than 100 feet, the minimum rear setback shall be reduced to 15 feet.
- Note I = An unenclosed front porch may intrude into the front yard by up to a maximum of 10 feet. Such front porch may be covered by a roof.
- Note J = As a special exception use, the maximum impervious coverage may be increased up to 95%, provided that:
1. the applicant proves the stormwater will be able to be handled on the site without creating any increased hazards or damage to other properties and;
 2. the use will involve substantially greater amounts of landscaping than would otherwise be required, following a landscaping plan prepared by a qualified professional and submitted to the Zoning Hearing Board for approval. Where a zoning district is required to maintain a minimum percentage of a lot in trees, shrubs and other vegetative ground cover, that requirement may not be overturned by special exception.
- Note K = A maximum of 30% of the land area within the minimum front yard shall be paved or used for parking, unless a more restrictive requirement is established within the DCSO Zoning District.

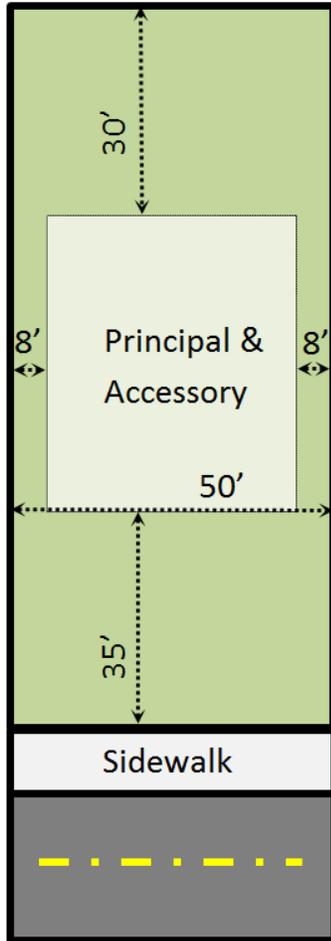


Figure 5.1
Typical CG Zoning District Area / Design Features - Example
(Abutting Lots Not Developed)
(Not Drawn to Scale)

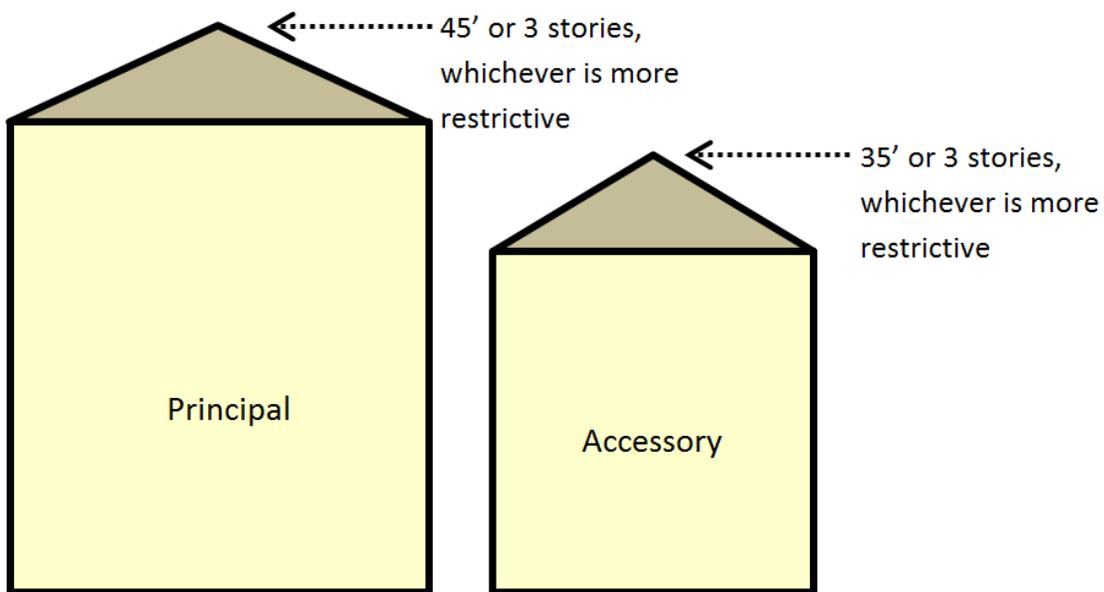


Figure 5.2
Typical CG Zoning District Building / Structure Height - Example
(Abutting Lots Not Developed) (Not Drawn to Scale)

**TABLE 5-4
 AREA AND DESIGN REQUIREMENTS
 COMMERCIAL HIGHWAY OFFICE
 ZONING DISTRICT (CHO)**

| AREA / DESIGN FEATURES | PERMITTED USES | |
|---|--|--|
| | ALL USES, UNLESS SPECIFICALLY LISTED IN PART 11 | ACCESSORY USE OR STRUCTURE, OTHER THAN SPECIFIED HEREIN ELSEWHERE THIS CHAPTER INCLUDING PART 7, PART 9, AND PART 11 OF THIS CHAPTER |
| Net Lot Area - Minimum | 10,000 sq. ft. | Included as part of total minimum lot area for principal use. |
| Lot Width at Front Setback Line – Minimum, Interior Lot | 50 ft. | Included as part of total minimum lot width for principal use. |
| Lot Width at Front Setback Line – Minimum, Corner Lot | 65 ft. | Included as part of total minimum lot width for principal use. |
| Front Setback - Minimum | 35 ft., See Note I | Not permitted to be located within the front yard. |
| Side Setback – Minimum, See Note A | 8 ft. each side from interior lot line; 12 ft. from street right-of-way line, See Note D | Included as part of the minimum side setback for the principal use. |
| Rear Setback – Minimum See Note A | 30 ft., See Note D | Included as part of the minimum rear setback for the principal use. |
| Building Footprint - Maximum | 40% | Included as part of total maximum building coverage for principal use. |
| Impervious Lot Coverage - Maximum | 70%, See Note J | Included as part of total maximum impervious lot coverage for the principal use. |
| Vegetative Coverage - Minimum | 15% | Included as part of total minimum vegetative coverage for principal use. |
| Building Height / Structure Height - Maximum | 45 ft. or 3 stories, whichever is more restrictive | 35 ft. or 3 stories, whichever is more restrictive |

- Not Applicable

Note A = The following exceptions to side and rear yards shall apply:

1. A 3 foot wide minimum side and rear setback shall apply for a permitted detached structure that is accessory to a dwelling, except:
 - a. In no case shall a vehicle garage be set back less than 5 feet from the cartway of an alley.
 - b. Structures shall not obstruct minimum sight clearance at intersections.
 - c. No setback is required for a structure that is accessory to a dwelling from a lot line along which 2 dwellings are attached (such as a lot line shared by single family semi-detached dwellings).
2. A residential porch or deck that is open along sides not attached to the principal building may extend into a required side or rear building setback. See Note I concerning front setbacks. However, if a deck or porch is covered by a roof or is raised an average of more than 5 feet above the ground level, then the deck or porch shall meet the minimum side yard and shall be setback a minimum of 15 feet from a rear lot line. A setback is not required where 2 buildings are attached to each other along a lot line. Space under an unenclosed porch may be used for household storage.

- Note B = Except if 2 or more off-street parking spaces per dwelling for 2 or more motor vehicles are located within 20 feet of a public street, then the lot width per dwelling unit along such street shall be a minimum of 24 feet. An end unit townhouse shall have a minimum lot width of 24 feet.
- Note C = A canopy over gasoline pumps may have a front setback of 20 feet, provided that no sign is located on the canopy within 35 feet from the street right-of-way.
- Note D = Except a minimum of 40 feet for a new or expanded principal nonresidential building from a directly abutting primarily residential lot in a Residential Zoning District. From a portion of a building used for manufacturing operations or tractor-trailer loading docks, this setback shall be increased to a minimum of 70 feet.
- Note E = On a single family detached dwelling lot that existed prior to August 2, 1943, with a lot width of less than 60 feet, the minimum side setback shall be reduced to 5 feet, provided that the 2 side yards together include a minimum of 14 feet.
- Note F = On a single family detached dwelling lot that existed prior to August 2, 1943, with a lot depth of less than 125 feet, the minimum rear setback shall be reduced to 20 feet.
- Note G = On a single family detached dwelling lot that existed prior to August 2, 1943, with a lot width of less than 50 feet, the minimum side setback shall be reduced to 4 feet, provided that the 2 side yards together include a minimum of 10 feet.
- Note H = On a single family detached dwelling lot that existed prior to August 2, 1943, with a lot depth of less than 100 feet, the minimum rear setback shall be reduced to 15 feet.
- Note I = An unenclosed front porch may intrude into the front yard by up to a maximum of 10 feet. Such front porch may be covered by a roof.
- Note J = As a special exception use, the maximum impervious coverage may be increased up to 95%, provided that:
1. the applicant proves the stormwater will be able to be handled on the site without creating any increased hazards or damage to other properties and;
 2. the use will involve substantially greater amounts of landscaping than would otherwise be required, following a landscaping plan prepared by a qualified professional and submitted to the Zoning Hearing Board for approval. Where a zoning district is required to maintain a minimum percentage of a lot in trees, shrubs and other vegetative ground cover, that requirement may not be overturned by special exception.
- Note K = A maximum of 30% of the land area within the minimum front yard shall be paved or used for parking, unless a more restrictive requirement is established within the DCSD Zoning District.

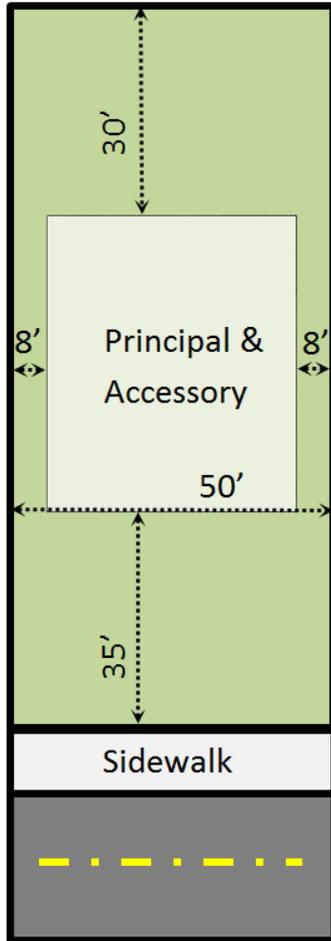


Figure 5.3
Typical CHO Zoning District Area / Design Features - Example
(Abutting Lots Not Developed)
(Not Drawn to Scale)

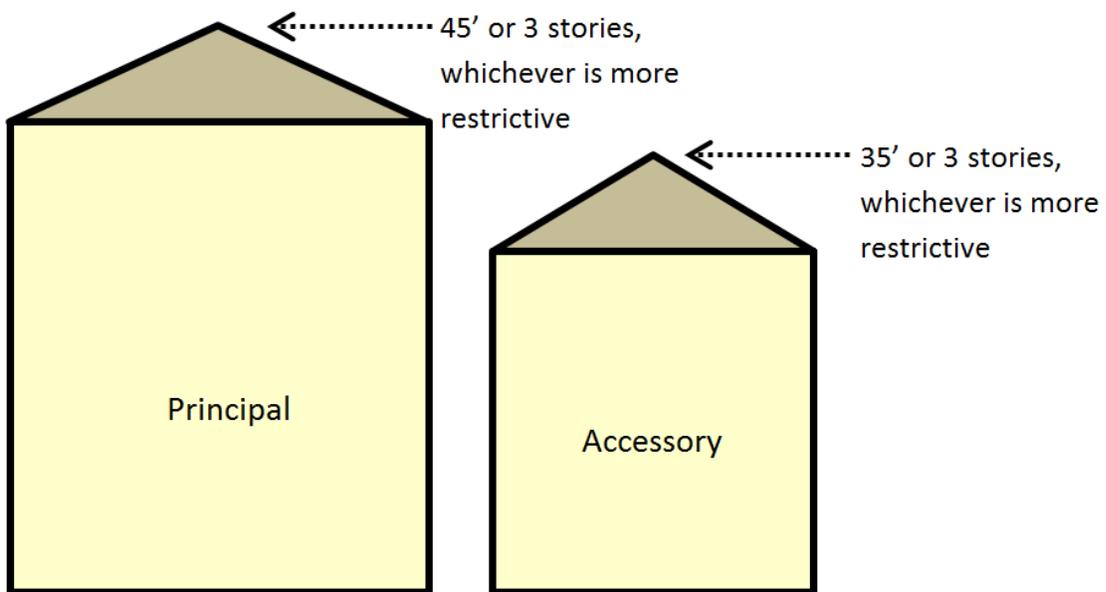


Figure 5.4
Typical CHO Zoning District Building Height / Structure Height - Example
(Abutting Lots Not Developed) (Not Drawn to Scale)

**TABLE 5-5
 AREA AND DESIGN REQUIREMENTS
 REGIONAL SHOPPING CENTER
 ZONING DISTRICT (CS)**

| AREA / DESIGN FEATURES | PERMITTED USES | |
|---|---|--|
| | ALL USES, UNLESS SPECIFICALLY LISTED IN PART 11 | ACCESSORY USE OR STRUCTURE, OTHER THAN SPECIFIED HEREIN ELSEWHERE THIS CHAPTER INCLUDING PART 7, PART 9, AND PART 11 OF THIS CHAPTER |
| Net Lot Area - Minimum | 87,120 sq. ft. | Included as part of total minimum lot area for principal use. |
| Lot Width at Front Setback Line – Minimum, Interior Lot | 200 ft. | Included as part of total minimum lot width for principal use. |
| Lot Width at Front Setback Line – Minimum, Corner Lot | 200 ft. | Included as part of total minimum lot width for principal use. |
| Front Setback - Minimum | 35 ft., See Note C | Not permitted to be located within the front yard. |
| Side Setback – Minimum, See Note A | 30 ft., See Note D | Included as part of the minimum side setback for the principal use. |
| Rear Setback – Minimum, See Note A | 30 ft., See Note D | Included as part of the minimum rear setback for the principal use. |
| Building Footprint - Maximum | 40% | Included as part of total maximum building coverage for principal use. |
| Impervious Lot Coverage - Maximum | 75%, See Note J | Included as part of total maximum impervious lot coverage for the principal use. |
| Vegetative Coverage - Minimum | 15% | Included as part of total minimum vegetative coverage for principal use. |
| Building Height / Structure Height - Maximum | 45 ft. or 3 stories, whichever is more restrictive | 35 ft. or 3 stories, whichever is more restrictive |

- Not Applicable

Note A = The following exceptions to side and rear yards shall apply:

1. A 3 foot wide minimum side and rear setback shall apply for a permitted detached structure that is accessory to a dwelling, except:
 - a. In no case shall a vehicle garage be set back less than 5 feet from the cartway of an alley.
 - b. Structures shall not obstruct minimum sight clearance at intersections.
 - c. No setback is required for a structure that is accessory to a dwelling from a lot line along which 2 dwellings are attached (such as a lot line shared by single family semi-detached dwellings).
2. A residential porch or deck that is open along sides not attached to the principal building may extend into a required side or rear building setback. See Note I concerning front setbacks. However, if a deck or porch is covered by a roof or is raised an average of more than 5 feet above the ground level, then the deck or porch shall meet the minimum side yard and shall be setback a minimum of 15 feet from a rear lot line. A setback is not required where 2 buildings are attached to each other along a lot line. Space under an unenclosed porch may be used for household storage.

Note B = Except if 2 or more off-street parking spaces per dwelling for 2 or more motor vehicles are located within 20 feet of a public street, then the lot width per dwelling unit along such street shall be a minimum of 24 feet. An end unit townhouse shall have a minimum lot width of 24 feet.

- Note C = A canopy over gasoline pumps may have a front setback of 20 feet, provided that no sign is located on the canopy within 35 feet from the street right-of-way.
- Note D = Except a minimum of 40 feet for a new or expanded principal nonresidential building from a directly abutting primarily residential lot in a Residential Zoning District. From a portion of a building used for manufacturing operations or tractor-trailer loading docks, this setback shall be increased to a minimum of 70 feet.
- Note E = On a single family detached dwelling lot that existed prior to August 2, 1943, with a lot width of less than 60 feet, the minimum side setback shall be reduced to 5 feet, provided that the 2 side yards together include a minimum of 14 feet.
- Note F = On a single family detached dwelling lot that existed prior to August 2, 1943, with a lot depth of less than 125 feet, the minimum rear setback shall be reduced to 20 feet.
- Note G = On a single family detached dwelling lot that existed prior to August 2, 1943, with a lot width of less than 50 feet, the minimum side setback shall be reduced to 4 feet, provided that the 2 side yards together include a minimum of 10 feet.
- Note H = On a single family detached dwelling lot that existed prior to August 2, 1943, with a lot depth of less than 100 feet, the minimum rear setback shall be reduced to 15 feet.
- Note I = An unenclosed front porch may intrude into the front yard by up to a maximum of 10 feet. Such front porch may be covered by a roof.
- Note J = As a special exception use, the maximum impervious coverage may be increased up to 95%, provided that:
1. the applicant proves the stormwater will be able to be handled on the site without creating any increased hazards or damage to other properties and;
 2. the use will involve substantially greater amounts of landscaping than would otherwise be required, following a landscaping plan prepared by a qualified professional and submitted to the Zoning Hearing Board for approval. Where a zoning district is required to maintain a minimum percentage of a lot in trees, shrubs and other vegetative ground cover, that requirement may not be overturned by special exception.
- Note K = A maximum of 30% of the land area within the minimum front yard shall be paved or used for parking, unless a more restrictive requirement is established within the DCSO Zoning District.

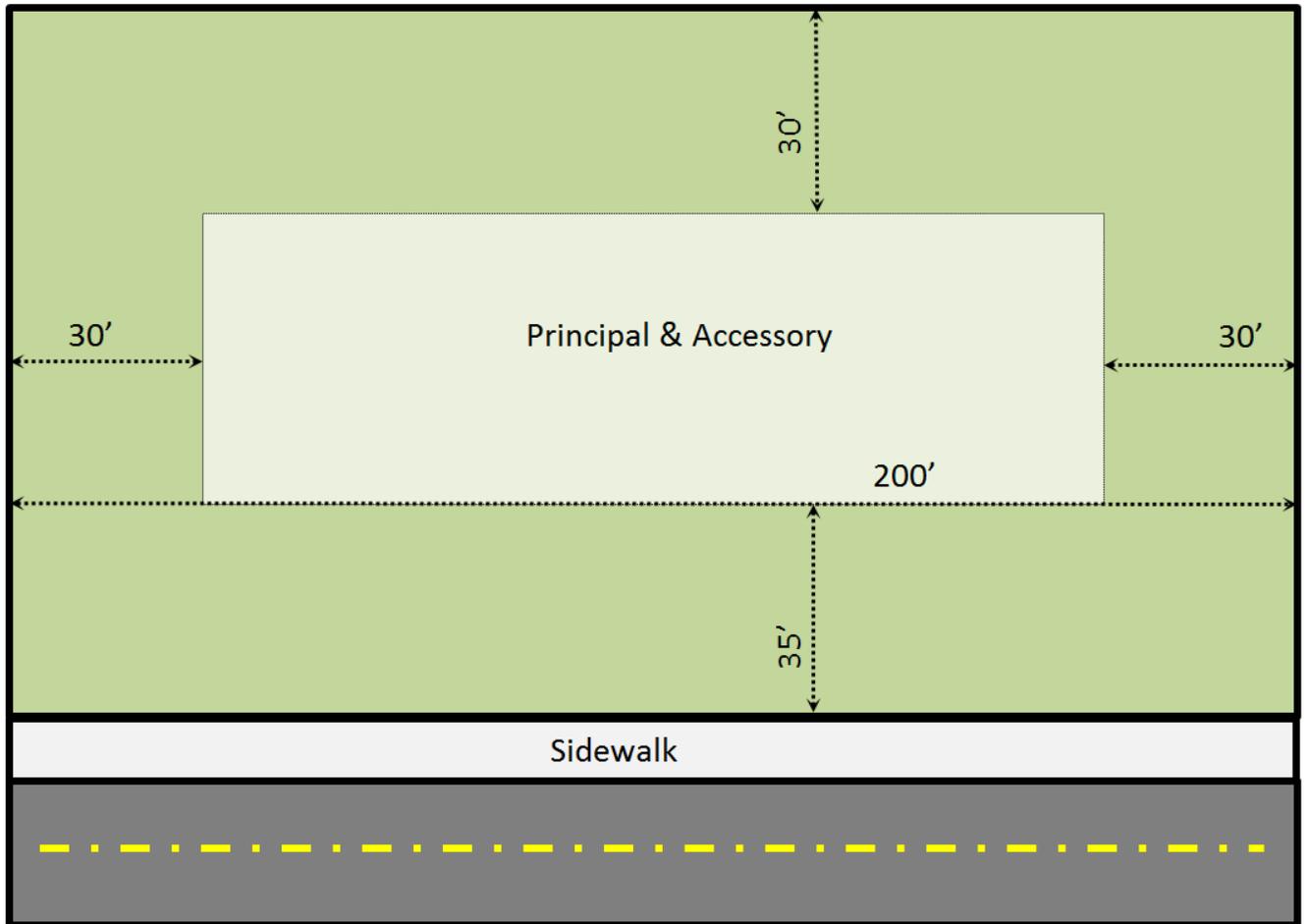


Figure 5.5 Typical CS Zoning District Area / Design Features - Example (Abutting Lots Not Developed)
(Not Drawn to Scale)

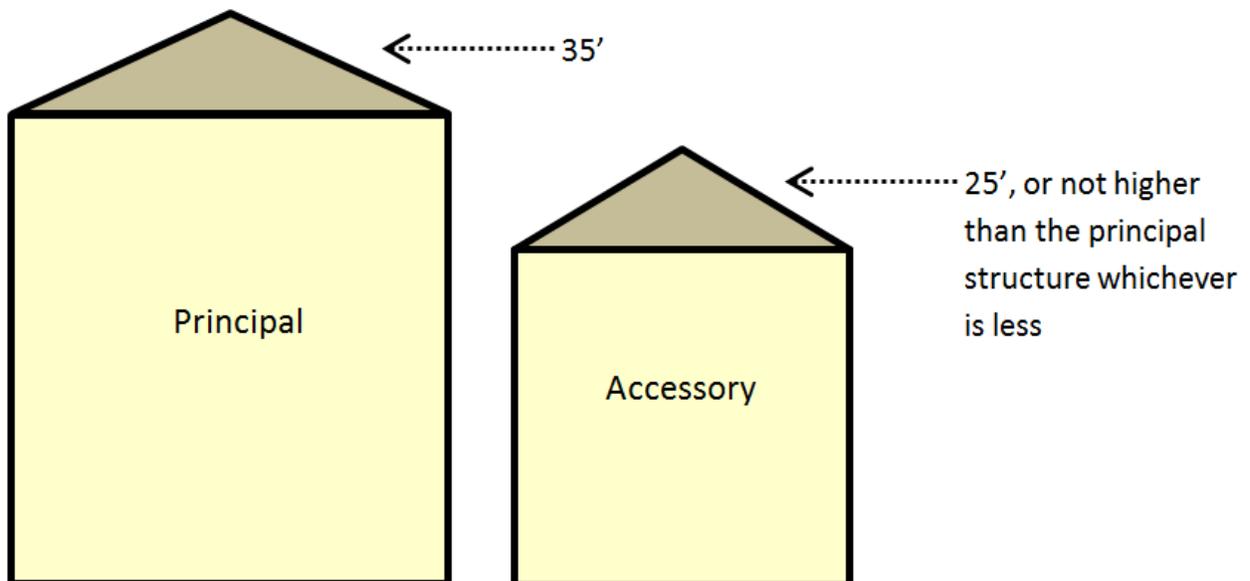


Figure 5.6
Typical CS Zoning District Building Height / Structure Height - Example
(Abutting Lots Not Developed) (Not Drawn to Scale)

**TABLE 5-6
 AREA AND DESIGN REQUIREMENTS
 LIGHT INDUSTRIAL
 ZONING DISTRICT (LIN)**

| AREA / DESIGN FEATURES | PERMITTED USES | |
|---|---|---|
| | ALL USES, UNLESS SPECIFICALLY LISTED IN PART 11 | ACCESSORY USE OR STRUCTURE, OTHER THAN SPECIFIED HEREIN ELSEWHERE THIS CHAPTER INCLUDING PART 7, PART 9, AND PART 11 OF THIS CHAPTER |
| Net Lot Area - Minimum | 43,560 sq. ft. | Included as part of total minimum lot area for principal use. |
| Lot Width at Front Setback Line – Minimum, Interior Lot | 150 ft. | Included as part of total minimum lot width for principal use. |
| Lot Width at Front Setback Line – Minimum, Corner Lot | 150 ft. | Included as part of total minimum lot width for principal use. |
| Front Setback - Minimum | 30 ft., See Note C | Not permitted to be located within the front yard. |
| Side Setback – Minimum, See Note A | 20 ft., See Note D | Included as part of the minimum side setback for the principal use. |
| Rear Setback – Minimum, See Note A | 30 ft., See Note D | Included as part of the minimum rear setback for the principal use. |
| Building Footprint - Maximum | 40% | Included as part of total maximum building coverage for principal use. |
| Impervious Lot Coverage – Maximum | 70%, See Note J | Included as part of total maximum impervious lot coverage for the principal use. |
| Vegetative Coverage - Minimum | 15% | Included as part of total minimum vegetative coverage for principal use. |
| Building Height / Structure Height - Maximum | 45 ft. or 3 stories, whichever is more restrictive | 35 ft. or 3 stories, whichever is more restrictive |

- Not Applicable

Note A = The following exceptions to side and rear yards shall apply:

1. A 3 foot wide minimum side and rear setback shall apply for a permitted detached structure that is accessory to a dwelling, except:
 - a. In no case shall a vehicle garage be set back less than 5 feet from the cartway of an alley.
 - b. Structures shall not obstruct minimum sight clearance at intersections.
 - c. No setback is required for a structure that is accessory to a dwelling from a lot line along which 2 dwellings are attached (such as a lot line shared by single family semi-detached dwellings).
2. A residential porch or deck that is open along sides not attached to the principal building may extend into a required side or rear building setback. See Note I concerning front setbacks. However, if a deck or porch is covered by a roof or is raised an average of more than 5 feet above the ground level, then the deck or porch shall meet the minimum side yard and shall be setback a minimum of 15 feet from a rear lot line. A setback is not required where 2 buildings are attached to each other along a lot line. Space under an unenclosed porch may be used for household storage.

Note B = Except if 2 or more off-street parking spaces per dwelling for 2 or more motor vehicles are located within 20 feet of a public street, then the lot width per dwelling unit along such street shall be a minimum of 24 feet. An end unit townhouse shall have a minimum lot width of 24 feet.

Note C = A canopy over gasoline pumps may have a front setback of 20 feet, provided that no sign is located on the canopy within 35 feet from the street right-of-way.

- Note D = Except a minimum of 40 feet for a new or expanded principal nonresidential building from a directly abutting primarily residential lot in a Residential Zoning District. From a portion of a building used for manufacturing operations or tractor-trailer loading docks, this setback shall be increased to a minimum of 70 feet.
- Note E = On a single family detached dwelling lot that existed prior to August 2, 1943, with a lot width of less than 60 feet, the minimum side setback shall be reduced to 5 feet, provided that the 2 side yards together include a minimum of 14 feet.
- Note F = On a single family detached dwelling lot that existed prior to August 2, 1943, with a lot depth of less than 125 feet, the minimum rear setback shall be reduced to 20 feet.
- Note G = On a single family detached dwelling lot that existed prior to August 2, 1943, with a lot width of less than 50 feet, the minimum side setback shall be reduced to 4 feet, provided that the 2 side yards together include a minimum of 10 feet.
- Note H = On a single family detached dwelling lot that existed prior to August 2, 1943, with a lot depth of less than 100 feet, the minimum rear setback shall be reduced to 15 feet.
- Note I = An unenclosed front porch may intrude into the front yard by up to a maximum of 10 feet. Such front porch may be covered by a roof.
- Note J = As a special exception use, the maximum impervious coverage may be increased up to 95%, provided that:
1. the applicant proves the stormwater will be able to be handled on the site without creating any increased hazards or damage to other properties and;
 2. the use will involve substantially greater amounts of landscaping than would otherwise be required, following a landscaping plan prepared by a qualified professional and submitted to the Zoning Hearing Board for approval. Where a zoning district is required to maintain a minimum percentage of a lot in trees, shrubs and other vegetative ground cover, that requirement may not be overturned by special exception.
- Note K = A maximum of 30% of the land area within the minimum front yard shall be paved or used for parking, unless a more restrictive requirement is established within the DCSO Zoning District.

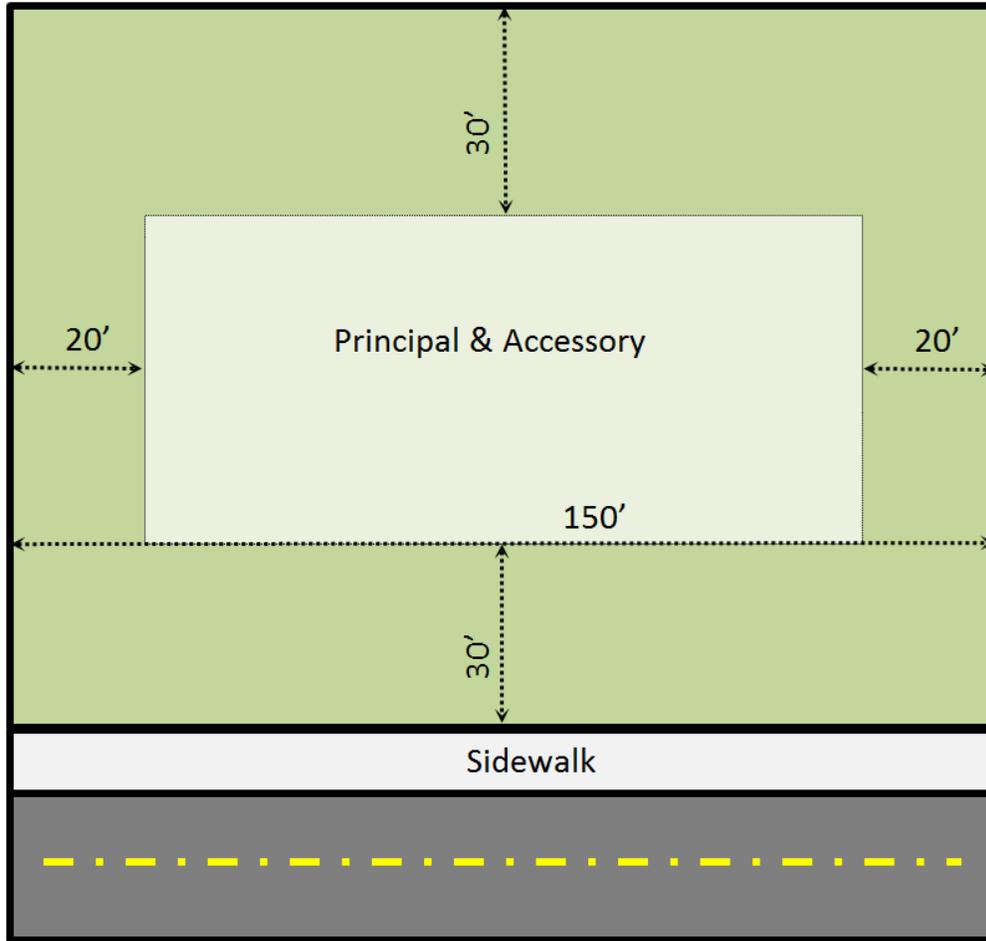


Figure 5.7
Typical LIN Zoning
District Area /
Design Features -
Example
(Abutting Lots Not
Developed)
(Not Drawn to
Scale)

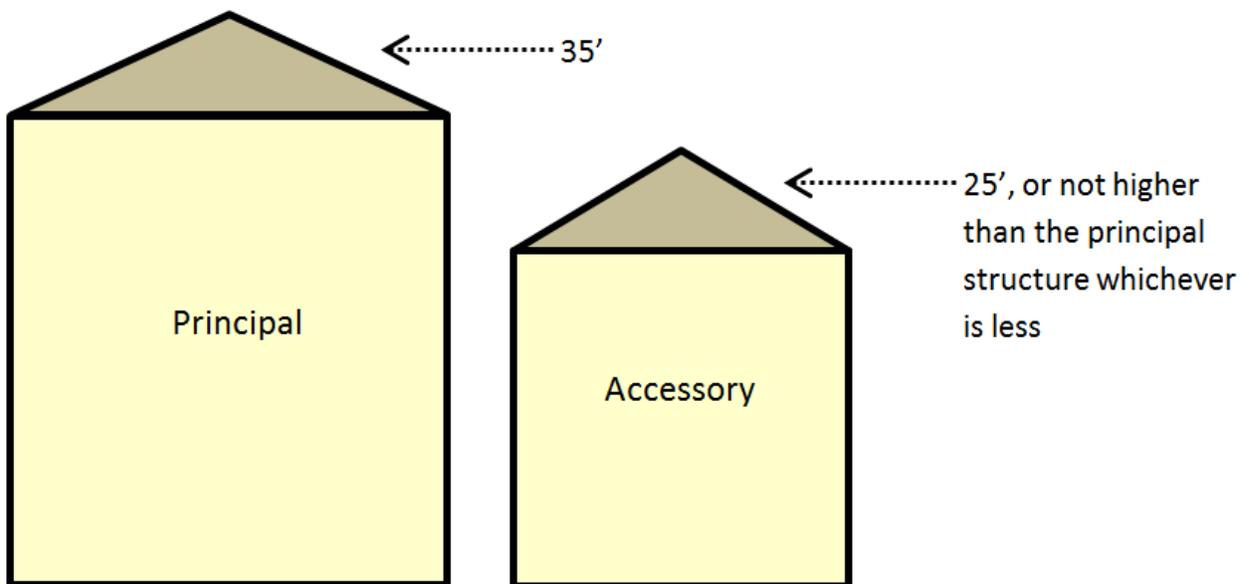


Figure 5.8
Typical LIN Zoning District Building Height / Structure Height - Example
(Abutting Lots Not Developed) (Not Drawn to Scale)

Section 504. Compliance with General Regulations and Specific Standards.

Additionally all development activities and uses within the respective General Business and Other Zoning Districts shall comply with all applicable general standards of this Chapter including but not limited to:

- A. General Regulations of Part 7 of this Chapter;
- B. Sign Regulations of Part 8 of this Chapter; and
- C. Lot Access, Parking, and Loading Regulations of Part 9 of this Chapter.

Section 505. Overlay Zoning Districts.

If located within or affected by the following overlay zoning districts, see Table 5-7 herein this Section, then development activities or uses within the respective General Business and Other Zoning Districts shall comply with the requirements of the applicable overlay zoning district provisions set forth in Part 6 of this Chapter:

**TABLE 5-7
 OVERLAY ZONING DISTRICTS**

| GENERAL BUSINESS AND OTHER ZONING DISTRICT | OVERLAY ZONING DISTRICTS | | | | |
|---|--|---------------------------------------|--|---|---|
| | FLOODPLAIN OVERLAY ZONING DISTRICT (FPO) | AIRPORT OVERLAY ZONING DISTRICT (APO) | DEVELOPMENT COMPATIBILITY STANDARDS OVERLAY ZONING DISTRICT (DCSO) | HERITAGE CONSERVATION OVERLAY ZONING DISTRICT (HCO) | NATURAL RESOURCES OVERLAY ZONING DISTRICT (NRO) |
| General Commercial Zoning District (CG) | N/A | See Section 603 of this Chapter | N/A | N/A | See Section 606 of this Chapter |
| Commercial Highway Office Zoning District (CHO) | N/A | See Section 603 of this Chapter | N/A | N/A | See Section 606 of this Chapter |
| Regional Shopping Center Zoning District (CS) | N/A | See Section 603 of this Chapter | N/A | N/A | See Section 606 of this Chapter |
| Light Industrial Zoning District (LIN) | N/A | See Section 603 of this Chapter | N/A | N/A | See Section 606 of this Chapter |