

PART 3

RESIDENTIAL ZONING DISTRICTS

Section 301. Designation of Residential Zoning Districts and Purpose Statements.

See Table 3-1 herein this Section for the designations and purpose statements of the respective Residential Zoning Districts which are shown on the Borough Zoning Map:

**TABLE 3-1
 RESIDENTIAL ZONING DISTRICTS**

RESIDENTIAL ZONING DISTRICT NAMES	RESIDENTIAL ZONING DISTRICT PURPOSE STATEMENTS	REPRESENTATIVE IMAGES
<p>Low Density Residential Zoning District (LDR)</p>	<p>To provide for low-density residential neighborhoods that are primarily composed of single family detached dwellings; to protect these areas from incompatible uses; to encourage owner occupancy and neighborhood stability; to promote traditional patterns of development, extending the best features of older development into newer development.</p>	
<p>Medium Density Residential Zoning District (MDR)</p>	<p>To provide for medium-density residential neighborhoods; to protect these areas from incompatible uses; to encourage "one home on one lot" (which may be attached to another home) in order to promote home ownership and neighborhood stability; to make sure that "infill" development is consistent with neighboring development.</p>	

Section 302. Permitted Uses.

See Table 3-2 herein this Section for the types of uses permitted in the respective Residential Zoning District as set forth by this Chapter. Uses are divided into those Permitted by Right "P" (zoning decision by Zoning Officer); Permitted by Special Exception "SE" (zoning decision by Zoning Hearing Board,) and Permitted by Conditional Use "CU" (zoning decision by Borough Council). Many of the uses permitted by the above three (3) categories must comply with certain criteria, which are found in Part 11 of this Chapter. The specific section numbers of Part 11 where the criteria are located are noted in the table. Uses not listed in the table below or identified by "N" shall specifically not be permitted in the applicable Residential Zoning Districts:

**TABLE 3-2
 PERMITTED USES – RESIDENTIAL ZONING DISTRICTS**

TYPES OF USES	LOW DENSITY RESIDENTIAL ZONING DISTRICT (LDR)	MEDIUM DENSITY RESIDENTIAL ZONING DISTRICT (MDR)	SECTION REFERENCE FOR SPECIFIC USE REGULATIONS

TYPES OF USES	LOW DENSITY RESIDENTIAL ZONING DISTRICT (LDR)	MEDIUM DENSITY RESIDENTIAL ZONING DISTRICT (MDR)	SECTION REFERENCE FOR SPECIFIC USE REGULATIONS
A. RESIDENTIAL USES			
Apartment Conversion	N	SE	1102
Group Home	P	P	
Mobile / Manufactured Home Park	N	SE	1102
Multi-Family Dwelling	N	SE	1102
Single Family Attached Dwelling	N	SE	1102
Single Family Detached Dwelling	P	P	
Single Family Semi-Detached Dwelling	N	P	
Two Family Detached Dwelling	N	SE	1102
B. NON-RESIDENTIAL USES			
B.1 INSTITUTIONAL / CIVIC USES			
Arts and Learning Center	P		
Cemetery	N	P	1105
Emergency Services	N	SE	1105
Library	SE	SE	1105
Municipal Owned Use	P	P	
Park, Playground, and Other Non-Commercial Outdoor Recreational Use	P	P	1105
Place of Worship	SE	SE	1105
School, Public or Private	SE	SE	
B.2 FORESTRY / AGRICULTURE USES			
Agricultural Operation	N	P	1106
Community Garden	P	P	1106
Forestry (Timber Harvesting)	P	P	1106
B.3 MISCELLANEOUS USES			
Telecommunications Signal Site, Antenna Only	P	P	1107
C. SPECIFIC ACCESSORY USES			
Community Garden	P	P	1108
Daycare, Accessory	P	P	
Daycare, Family	SE	SE	1108
Home Occupation	SE	SE	1108
No-Impact Home Occupation	P	P	1108
D. SPECIFIC TEMPORARY USES			
Accessory Dwelling Unit for Care of Relative	SE	SE	1109

TYPES OF USES	LOW DENSITY RESIDENTIAL ZONING DISTRICT (LDR)	MEDIUM DENSITY RESIDENTIAL ZONING DISTRICT (MDR)	SECTION REFERENCE FOR SPECIFIC USE REGULATIONS
E. GENERAL ACCESSORY USES AND STRUCTURES			
Accessory structures and uses customarily incidental and subordinate to the principal uses permitted in the applicable Zoning District, other than specified elsewhere in this Chapter including but not limited to Part 7 of this Chapter	P	P	

- P Permitted by Right (zoning decision by Zoning Officer)
- SE Permitted by Special Exception Use (zoning decision by Zoning Hearing Board)
- CU Permitted by Conditional Use (zoning decision by Borough Council)
- N Not Permitted

Without a valid building permit, construction vehicles may not be parked in front of a residential home for longer than thirty (30) days unless the vehicles are used for daily transportation of occupant.

Recreational vehicles and/or trailers may not be parked in front of residential homes for periods exceeding fourteen (14) days.

Section 303. Area and Design Requirements.

See Tables 3-3 – 3-4 herein this Section for the area and design requirements for all development activities and uses within the respective Residential Zoning Districts. Additionally, to the maximum extent feasible, all development activities and uses shall respect, maintain, and be compatible with the predominant development pattern, context, and character features of the adjacent and nearby buildings / structures and development including height, scale, setback, orientation, lot access, and off-street parking. Unless specifically listed herein this Section and Part 6 of this Chapter relating to *Development Compatibility Standards Overlay Zoning District*, applicants for new development and uses may, and are strongly encouraged, to utilize the other development compatibility design guidelines and standards set forth in Part 6 of this Chapter relating to *Development Compatibility Standards Overlay Zoning District*:

**TABLE 3-3
 AREA AND DESIGN REQUIREMENTS
 LOW DENSITY RESIDENTIAL
 ZONING DISTRICT (LDR)**

AREA / DESIGN FEATURES	PERMITTED USES		
	SINGLE FAMILY DETACHED DWELLING*	OTHER USES*, UNLESS SPECIFICALLY LISTED IN PART 11	ACCESSORY USE OR STRUCTURE, OTHER THAN SPECIFIED HEREIN ELSEWHERE THIS CHAPTER INCLUDING PART 7, PART 9, AND PART 11 OF THIS CHAPTER
Net Lot Area - Minimum	6,000 sq. ft. per DU	30,000 sq. ft.	Included as part of total minimum lot area for principal use.
Lot Width at Front Setback Line – Minimum, Interior Lot	60 ft.	90 ft.	Included as part of total minimum lot width for principal use.
Lot Width at Front Setback Line – Minimum, Corner Lot	75 ft.	90 ft.	Included as part of total minimum lot width for principal use.
Front Setback - Minimum	25 ft., See Note I	25 ft., See Note I	Not permitted to be located within the front yard.
Side Setback – Minimum, See Note A	7 ft. each side from interior lot line, See Note E; 15 ft. from street right-of-way line	7 ft. each side from interior lot line, See Note E; 15 ft. from street right-of-way line	See Note A
Rear Setback – Minimum, See Note A	30 ft., See Note F	30 ft., See Note F	See Note A
Building Footprint - Maximum	30%	30%	Included as part of total maximum building coverage for principal use.
Impervious Lot Coverage - Maximum	50%	50%	Included as part of total maximum impervious lot coverage for the principal use.
Vegetative Coverage - Minimum	25%	25%	Included as part of total minimum vegetative coverage for principal use.
Building Height / Structure Height - Maximum	35 ft. or 3 stories, whichever is more restrictive	35 ft. or 3 stories, whichever is more restrictive	25 ft. or 2 stories, whichever is more restrictive**

- Not Applicable

* Each dwelling shall have a minimum principal building width and length of 18 feet, not including unenclosed structures.

**** Accessory uses or structures for non-residential uses shall have a maximum building height / structure height of 35 ft. or 3 stories, whichever is more restrictive.**

Note A = The following exceptions to side and rear yards shall apply:

- 1. A 3 foot wide minimum side and rear setback shall apply for a permitted detached structure that is accessory to a dwelling, except:**
 - a. In no case shall a vehicle garage be set back less than 5 feet from the cartway of an alley.**
 - b. Structures shall not obstruct minimum sight clearance at intersections.**
 - c. No setback is required for a structure that is accessory to a dwelling from a lot line along which 2 dwellings are attached (such as a lot line shared by single family semi-detached dwellings).**
- 2. A residential porch or deck that is open along sides not attached to the principal building may extend into a required side or rear building setback. See Note I concerning front setbacks. However, if a deck or porch is covered by a roof or is raised an average of more than 5 feet above the ground level, then the deck or porch shall meet the minimum side yard and shall be setback a minimum of 15 feet from a rear lot line. A setback is not required where 2 buildings are attached to each other along a lot line. Space under an unenclosed porch may be used for household storage.**

Note B = Except if 2 or more off-street parking spaces per dwelling for 2 or more motor vehicles are located within 20 feet of a public street, then the lot width per dwelling unit along such street shall be a minimum of 24 feet. An end unit townhouse shall have a minimum lot width of 24 feet.

Note C = A canopy over gasoline pumps may have a front setback of 20 feet, provided that no sign is located on the canopy within 35 feet from the street right-of-way.

Note D = Except a minimum of 40 feet for a new or expanded principal nonresidential building from a directly abutting primarily residential lot in a Residential Zoning District. From a portion of a building used for manufacturing operations or tractor-trailer loading docks, this setback shall be increased to a minimum of 70 feet.

Note E = On a single family detached dwelling lot that existed prior to August 2, 1943, with a lot width of less than 60 feet, the minimum side setback shall be reduced to 5 feet, provided that the 2 side yards together include a minimum of 14 feet.

Note F = On a single family detached dwelling lot that existed prior to August 2, 1943, with a lot depth of less than 125 feet, the minimum rear setback shall be reduced to 20 feet.

Note G = On a single family detached dwelling lot that existed prior to August 2, 1943, with a lot width of less than 50 feet, the minimum side setback shall be reduced to 4 feet, provided that the 2 side yards together include a minimum of 10 feet.

Note H = On a single family detached dwelling lot that existed prior to August 2, 1943, with a lot depth of less than 100 feet, the minimum rear setback shall be reduced to 15 feet.

Note I = An unenclosed front porch may intrude into the front yard by up to a maximum of 10 feet. Such front porch may be covered by a roof.

Note J = As a special exception use, the maximum impervious coverage may be increased up to 95%, provided that:

- 1. the applicant proves the stormwater will be able to be handled on the site without creating any increased hazards or damage to other properties and;**
- 2. the use will involve substantially greater amounts of landscaping than would otherwise be required, following a landscaping plan prepared by a qualified professional and submitted to the Zoning Hearing Board for approval. Where a zoning district is required to maintain a minimum percentage of a lot in trees, shrubs and other vegetative ground cover, that requirement may not be overturned by special exception.**

Note K = A maximum of 30% of the land area within the minimum front yard shall be paved or used for parking, unless a more restrictive requirement is established within the DCSO Zoning District.

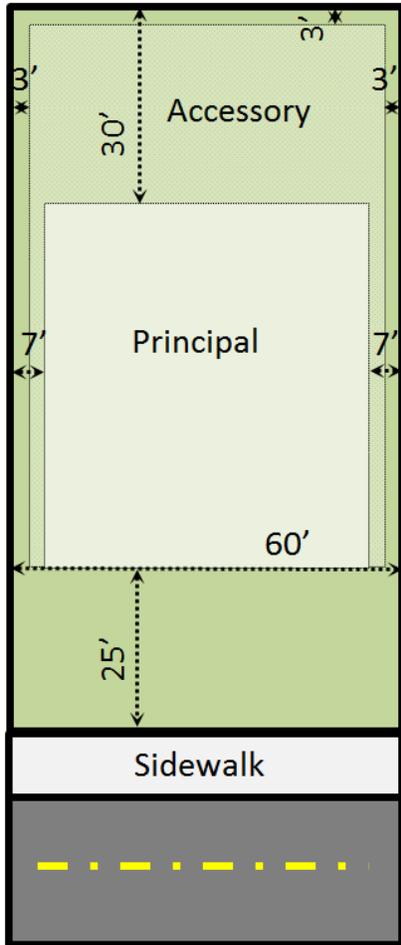


Figure 3.1
Typical LDR Zoning District Area / Design Features - Single Family Detached Dwelling Example
(Abutting Lots Not Developed)
(Not Drawn to Scale)

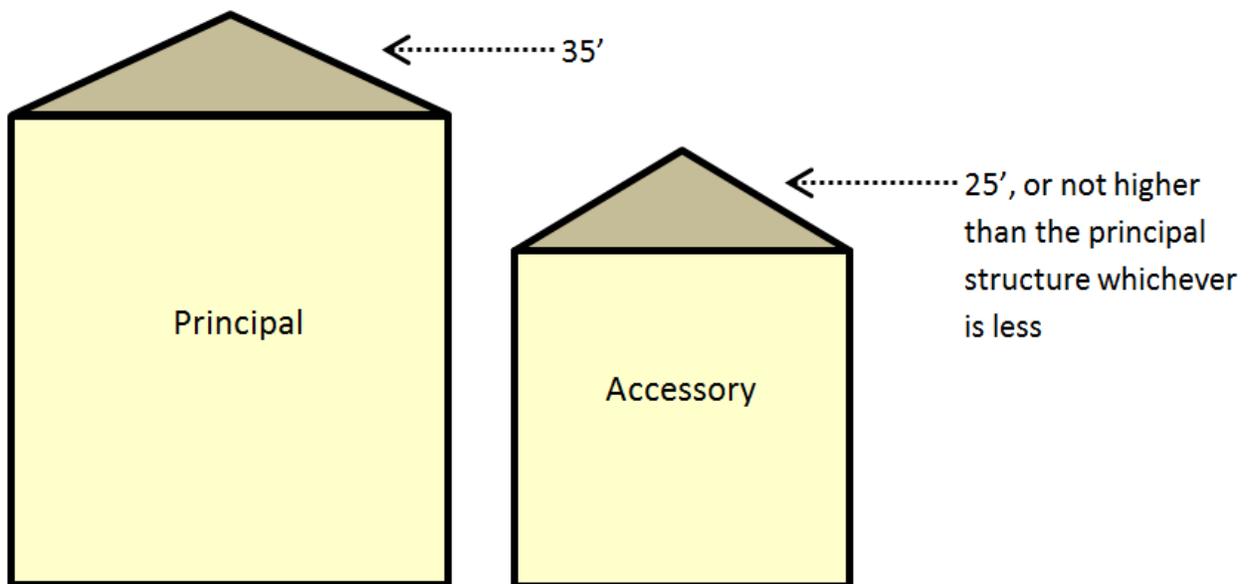


Figure 3.2
Typical LDR Zoning District Building Height / Structure Height - Single Family Detached Dwelling Example
(Abutting Lots Not Developed) (Not Drawn to Scale)

**TABLE 3-4
 AREA AND DESIGN REQUIREMENTS
 MEDIUM DENSITY RESIDENTIAL
 ZONING DISTRICT (MDR)**

AREA / DESIGN FEATURES	PERMITTED USES				
	SINGLE FAMILY DETACHED DWELLING	SINGLE FAMILY SEMI-DETACHED DWELLING	TWO FAMILY DETACHED DWELLING	OTHER USES, UNLESS SPECIFICALLY LISTED IN PART 11	ACCESSORY USE OR STRUCTURE, OTHER THAN SPECIFIED HEREIN ELSEWHERE THIS CHAPTER INCLUDING PART 7, PART 9, AND PART 11 OF THIS CHAPTER
Net Lot Area - Minimum	5,000 sq. ft. per DU	4,000 sq. ft. per DU	4,000 sq. ft. per DU	13,500 sq. ft.	Included as part of total minimum lot area for principal use.
Lot Width at Front Setback Line – Minimum, Interior Lot	50 ft.	40 ft.	80 ft.	80 ft.	Included as part of total minimum lot width for principal use.
Lot Width at Front Setback Line – Minimum, Corner Lot	65 ft.	55 ft.	95 ft.	95 ft.	Included as part of total minimum lot width for principal use.
Front Setback - Minimum	25 ft., See Note I	25 ft., See Note I	25 ft., See Note I	25 ft., See Note I	Not permitted to be located within the front yard.
Side Setback – Minimum, See Note A	5 ft. each side from interior lot line, See Note G; 12 ft. from street right-of-way line	5 ft. each side from interior lot line, See Note G; except, 0 ft. at the shared lot line of lawfully attached dwellings constructed with a shared common party wall and the written consent of the owner of the abutting lot and building, 12 ft. from street right-of-way line	5 ft. each side from interior lot line, See Note G; 12 ft. from street right-of-way line	15 ft.	See Note A

AREA / DESIGN FEATURES	PERMITTED USES				
	SINGLE FAMILY DETACHED DWELLING	SINGLE FAMILY SEMI-DETACHED DWELLING	TWO FAMILY DETACHED DWELLING	OTHER USES, UNLESS SPECIFICALLY LISTED IN PART 11	ACCESSORY USE OR STRUCTURE, OTHER THAN SPECIFIED HEREIN ELSEWHERE THIS CHAPTER INCLUDING PART 7, PART 9, AND PART 11 OF THIS CHAPTER
Rear Setback – Minimum, See Note A	25 ft., See Note H	See Note A			
Building Footprint - Maximum	40%	40%	40%	40%	Included as part of total maximum building coverage for principal use.
Impervious Lot Coverage - Maximum	60%	60%	60%	60%	Included as part of total maximum impervious lot coverage for the principal use.
Vegetative Coverage - Minimum	25%	25%	25%	25%	Included as part of total minimum vegetative coverage for principal use.
Building Height / Structure Height - Maximum	35 ft. or 3 stories, whichever is more restrictive	35 ft. or 3 stories, whichever is more restrictive	35 ft. or 3 stories, whichever is more restrictive	35 ft. or 3 stories, whichever is more restrictive	25 ft. or 2 stories, whichever is more restrictive*

- Not Applicable

* Accessory uses or structures for non-residential uses shall have a maximum building height / structure height of 35 ft. or 3 stories, whichever is more restrictive.

Note A = The following exceptions to side and rear yards shall apply:

1. A 3 foot wide minimum side and rear setback shall apply for a permitted detached structure that is accessory to a dwelling, except:
 - a. In no case shall a vehicle garage be set back less than 5 feet from the cartway of an alley.
 - b. Structures shall not obstruct minimum sight clearance at intersections.
 - c. No setback is required for a structure that is accessory to a dwelling from a lot line along which 2 dwellings are attached (such as a lot line shared by single family semi-detached dwellings).
2. A residential porch or deck that is open along sides not attached to the principal building may extend into a required side or rear building setback. See Note I concerning front setbacks. However, if a deck or porch is covered by a roof or is raised an average of more than 5 feet above the ground level, then the deck or porch shall meet the minimum side yard and shall be setback a minimum of 15 feet from a rear lot line. A setback is not required where 2 buildings are attached to each other along a lot line. Space under an unenclosed porch may be used for household storage.

Note B = Except if 2 or more off-street parking spaces per dwelling for 2 or more motor vehicles are located within 20 feet of a public street, then the lot width per dwelling unit along such street shall be a minimum of 24 feet. An end unit townhouse shall have a minimum lot width of 24 feet.

- Note C = A canopy over gasoline pumps may have a front setback of 20 feet, provided that no sign is located on the canopy within 35 feet from the street right-of-way.
- Note D = Except a minimum of 40 feet for a new or expanded principal nonresidential building from a directly abutting primarily residential lot in a Residential Zoning District. From a portion of a building used for manufacturing operations or tractor-trailer loading docks, this setback shall be increased to a minimum of 70 feet.
- Note E = On a single family detached dwelling lot that existed prior to August 2, 1943, with a lot width of less than 60 feet, the minimum side setback shall be reduced to 5 feet, provided that the 2 side yards together include a minimum of 14 feet.
- Note F = On a single family detached dwelling lot that existed prior to August 2, 1943, with a lot depth of less than 125 feet, the minimum rear setback shall be reduced to 20 feet.
- Note G = On a single family detached dwelling lot that existed prior to August 2, 1943, with a lot width of less than 50 feet, the minimum side setback shall be reduced to 4 feet, provided that the 2 side yards together include a minimum of 10 feet.
- Note H = On a single family detached dwelling lot that existed prior to August 2, 1943, with a lot depth of less than 100 feet, the minimum rear setback shall be reduced to 15 feet.
- Note I = An unenclosed front porch may intrude into the front yard by up to a maximum of 10 feet. Such front porch may be covered by a roof.
- Note J = As a special exception use, the maximum impervious coverage may be increased up to 95%, provided that:
1. the applicant proves the stormwater will be able to be handled on the site without creating any increased hazards or damage to other properties and;
 2. the use will involve substantially greater amounts of landscaping than would otherwise be required, following a landscaping plan prepared by a qualified professional and submitted to the Zoning Hearing Board for approval. Where a zoning district is required to maintain a minimum percentage of a lot in trees, shrubs and other vegetative ground cover, that requirement may not be overturned by special exception.
- Note K = A maximum of 30% of the land area within the minimum front yard shall be paved or used for parking, unless a more restrictive requirement is established within the DCSO Zoning District.

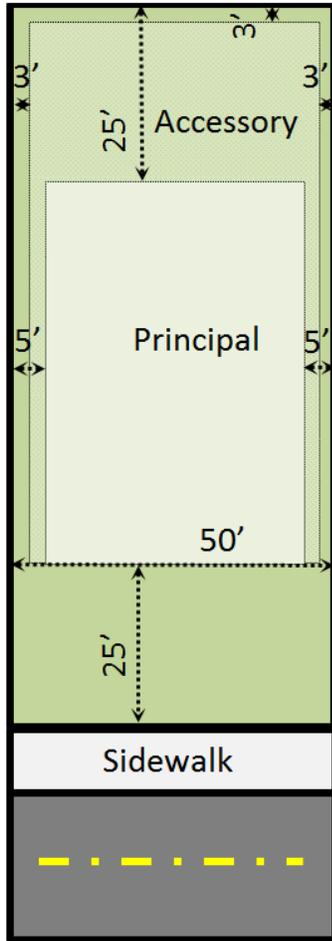


Figure 3.3
Typical MDR Zoning District Area / Design Features - Single Family Detached Dwelling Example
(Abutting Lots Not Developed)
(Not Drawn to Scale)

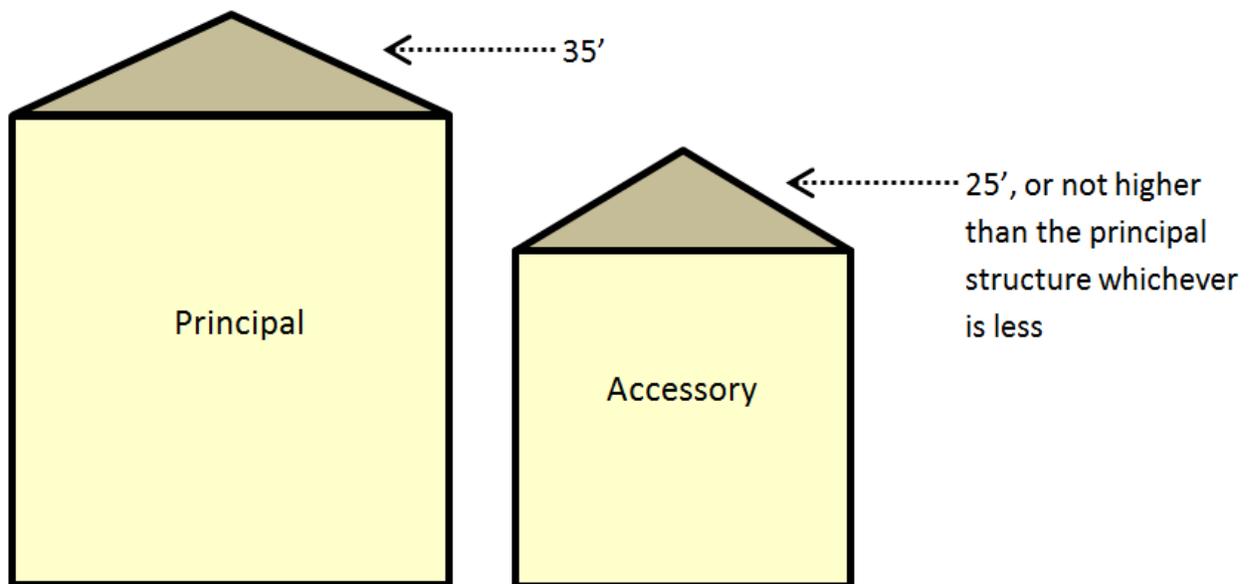


Figure 3.4
Typical MDR Zoning District Building Height / Structure Height - Single Family Detached Dwelling Example
(Abutting Lots Not Developed) (Not Drawn to Scale)

Section 304. Compliance with General Standards.

Additionally all development activities and uses within the respective Residential Zoning Districts shall comply with all applicable general standards of this Chapter including but not limited to:

- A. General Regulations of Part 7 of this Chapter;
- B. Sign Regulations of Part 8 of this Chapter; and
- C. Lot Access, Parking, and Loading Regulations of Part 9 of this Chapter.

Section 305. Overlay Zoning Districts.

If located within or affected by the following overlay zoning districts, see Table 3-5 herein this Section, then development activities or uses within the respective Residential Zoning Districts shall comply with the requirements of the applicable overlay zoning district provisions set forth in Part 6 of this Chapter:

**TABLE 3-5
 OVERLAY ZONING DISTRICTS**

RESIDENTIAL ZONING DISTRICT	OVERLAY ZONING DISTRICTS				
	FLOODPLAIN OVERLAY ZONING DISTRICT (FPO)	AIRPORT OVERLAY ZONING DISTRICT (APO)	DEVELOPMENT COMPATIBILITY STANDARDS OVERLAY ZONING DISTRICT (DCSO)	HERITAGE CONSERVATION OVERLAY ZONING DISTRICT (HCO)	NATURAL RESOURCES OVERLAY ZONING DISTRICT (NRO)
Low Density Residential Zoning District (LDR)	See Section 602 of this Chapter	See Section 603 of this Chapter	N/A	See Section 605 of this Chapter	See Section 606 of this Chapter
Medium Density Residential Zoning District (MDR)	N/A	See Section 603 of this Chapter	N/A	N/A	See Section 606 of this Chapter